

JOHN N. PAYNE, GRANTOR

TO

ASSUMPTION WARRANTY DEED

SCOTT KELLY STEWART, GRANTEE

FOR AND IN CONSIDERATION of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable legal consideration, including the assumption of the indebtedness described below, the receipt and sufficiency of which is hereby acknowledged, the Grantors, JOHN N. PAYNE and Wife, KATTIE B. PAYNE, hereby sells, conveys, and warrants unto the Grantee, SCOTT KELLY STEWART and Wife, SHERRI LYNN STEWART, as tenants by the entirety with full rights of survivorship and not as tenants in common, the land in DeSoto County, Mississippi, being more particularly described as follows:

Lot 22, Section A Revised, Lakewood Estates Subdivision, Section 23, Township 2 South, Range 7 West, in DeSoto County, Mississippi as shown on plat of record in Plat Book 11, Pages 1-3, in the Office of the Chancery Clerk of DeSoto County, Mississippi, to which plat reference is made for a more particular description of said lot.

This conveyance is made subject to an indebtedness to First Tennessee Bank National Association, secured by a deed of trust recorded in Trust Deed Book 516 at Page 480, in the Office of the Chancery Clerk of DeSoto County, Mississippi, and by acceptance of this Deed, the Grantee assumes the balance of said indebtedness.

By acceptance of this Deed, the parties agree that this conveyance is made subject to subdivision, health department, zoning and other regulations in effect in DeSoto County, Mississippi; restrictive covenants of the subdivision; and rights of way and easements for public roads, flowage, and utilities.

Grantor's interest in any escrow account in connection with the assumed loan is hereby assigned to the Grantee who accepts the present balance as correct. Possession is to be given upon delivery of this deed.

EXECUTED this the 2nd day of Sept, 1993.

John N. Payne
JOHN N. PAYNE

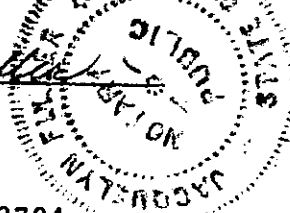
Kattie B. Payne
KATTIE B. PAYNE
GRANTORS

STATE OF IDAH
COUNTY OF ADA

This day personally appeared before me, the undersigned authority in and for said County and State, the within named JOHN N. PAYNE and Wife, KATTIE B. PAYNE, who acknowledged signing and delivering the above and foregoing Warranty Deed on the day and year therein mentioned as a free and voluntary act and deed and for the purposes therein expressed.

GIVEN under my hand and official seal of office this the 2 day of September, 1993.

Jacquelyn J. [Signature]
NOTARY PUBLIC



MY COMMISSION EXPIRES:

12/7/93

GRANTOR'S ADDRESS: 7314 Settlers Drive, Boise, ID 83704
Home #: (208) 322-5772 Bus #: (208) 385-3784

GRANTEE'S ADDRESS: 4730 Victoria Drive, Nesbit, Ms 38651
Home #: () Bus #: ()

Prepared by:
Walker, Brown & Brown, P. A.
P. O. Box 276
Hernando, MS 38632
(601) 429-5277
(901) 521-9292

STATE MS.-DESOTO CO.
FILED

SEP 3 4 52 PM '93

BK 261 PG 419
W.E. DAVIS CH. CLK.
By B. Cleveland